

**FOR SALE**

**01949 87 86 85**

[www.hammondpropertyservices.com](http://www.hammondpropertyservices.com)

11 Market Place  
Bingham  
Nottinghamshire  
NG13 8AR

01949 87 86 85

[bingham@hammondpropertyservices.com](mailto:bingham@hammondpropertyservices.com)



**19 THE PADDOCK, BINGHAM, NOTTINGHAM,  
NOTTINGHAMSHIRE NG13 8HQ**

**£257,500**

## 19 THE PADDOCK, BINGHAM, NOTTINGHAMSHIRE NG13 8HQ

Situated within a pleasant cul de sac setting only a short walk from the wealth of amenities of Bingham Town Centre, this three bedroom town house is located on a pleasant low maintenance corner plot.

The extended accommodation comprises enclosed entrance porch, entrance hall, breakfast kitchen, well proportioned living room with conservatory off and from the first floor landing there are three bedrooms, two being doubles with built in wardrobes and the family bathroom.

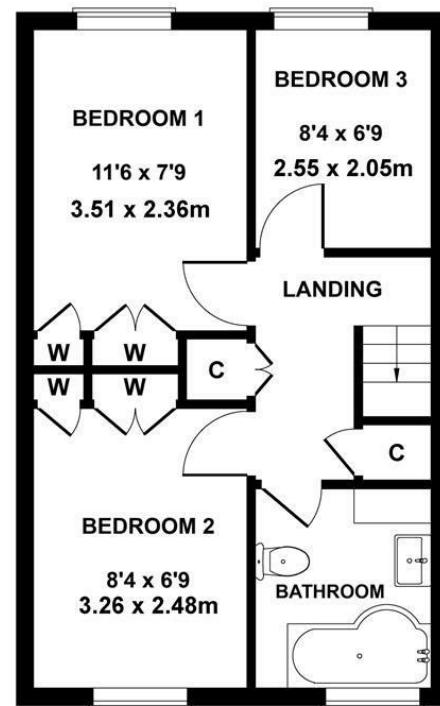
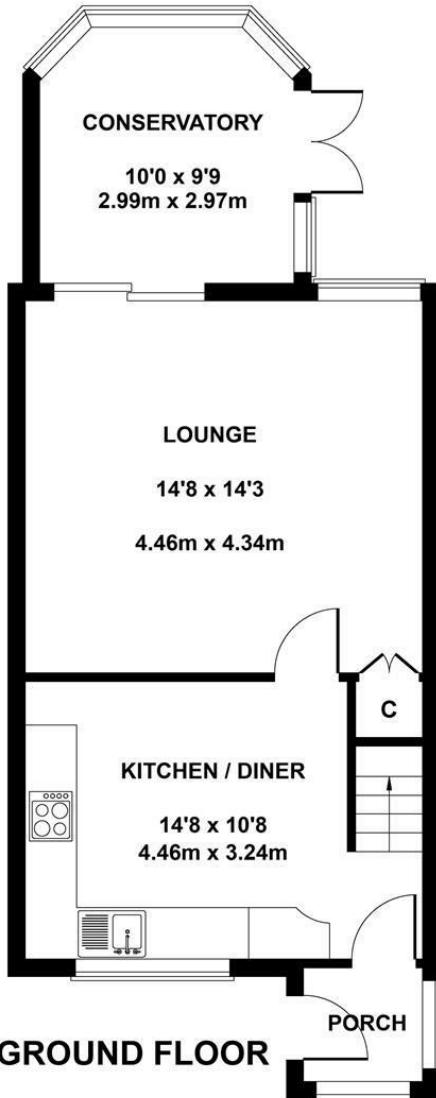
The property benefits from UPVC double glazing, replacement gas central heating boiler and cavity wall insulation and would make an excellent opportunity for many different buyers including professionals, young families, landlords or those looking to downsize requiring a low maintenance property close to local amenities.

To the rear of the property is a pleasant but manageable low maintenance garden with paved terrace and established borders with direct access to a BRICK GARAGE.

Within the Centre of the Town is Bingham Market Place with its range of shops. Carnarvon, Robert Miles and Toothill Schools catering for all school age groups are also extremely popular and highly regarded due to their Ofsted reports.

For the busy executive, the upgraded A46 & A52 are close at hand providing access to the surrounding commercial centres of Nottingham, Newark, Leicester and Grantham.

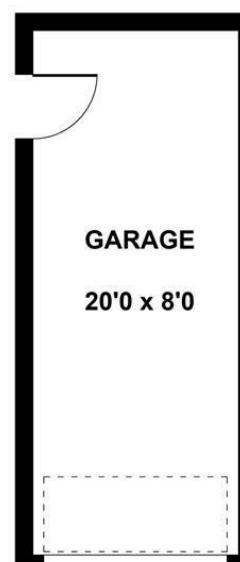




Approximate Gross Internal Area  
1044 sq ft - 97 sq m

Not to Scale.

For Illustrative Purposes Only.



**GARAGE**

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A	74	90
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales		EU Directive 2002/91/EC

Environmental Impact (CO <sub>2</sub> ) Rating		
	Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not environmentally friendly - higher CO <sub>2</sub> emissions		
England & Wales		EU Directive 2002/91/EC

Council Tax Band

**C**

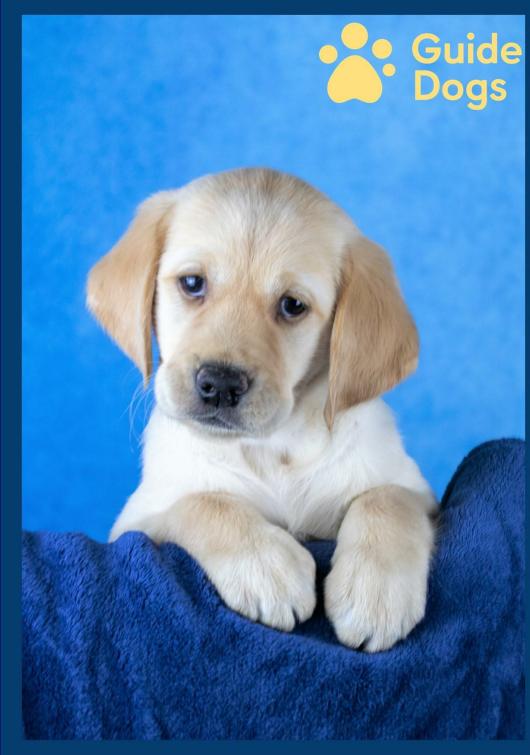
**DIRECTIONAL NOTE** From our Bingham Office the property may be approached via Market Street. At the T junction turn right into Long Acre. Turn left into The Paddock where the property will then be found on the right hand side; clearly denoted by the Hammond Property Services For Sale board.

**For Sat Nav use Post Code; NG13 8HQ**

Bingham enjoys a wonderful range of supermarkets and independent shops, eateries, coffee house, public houses with a market held every Thursday. There is also a medical centre, pharmacies, dentists, leisure centre and a library. Should a shopping trip to the larger towns be the 'order of the day' Bingham has direct rail links to Nottingham and Grantham and bus routes to Nottingham and the surrounding villages.

Bingham is on the edge of the renowned Vale of Belvoir which provides endless hours of walks as well as a variety of quaint rural villages, each with their own individual character and many with a village pub!

Meet 'Pearl'



After months of fundraising, we have now achieved our Target of £5,000 to enable a Guide Dog Puppy to be named and trained on our behalf... and here she is!

Named 'Pearl', to celebrate our 30th Anniversary, we are proud to say that Puppy Pearl is now with her suitably matched recipient and is making a huge difference in the lifestyle to her new beneficiary.

See all our properties at  
[onTheMarket.com](https://www.onthemarket.com)



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Hammond Property Services Bingham



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## BINGHAM'S COMMUNITY ESTATE AGENT

We are proud to support all of these Organisations from in and around Bingham which help to make this such a wonderful Town and area to live in



Dame Esther Rantzen with Jonathan Hammond at the launch of our Annual Charity Quiz in aid of ChildLine - raising £4,140 in 2023 for this extremely important Charity.

**childline**

ONLINE, ON THE PHONE, ANYTIME  
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**B.H.T.A.**  
BINGHAM HERITAGE TRAILS ASSOCIATION



football in the  
community



For more details, email [sponsorship@hammondpropertyservices.com](mailto:sponsorship@hammondpropertyservices.com)

Double glazed entrance door into the

### **ENTRANCE PORCH**

with wood effect flooring, two uPVC double glazed windows and a half-glazed door leading into the

### **BREAKFAST KITCHEN**

14'8 x 10'8 (4.47m x 3.25m)

A range of base and wall mounted units with a wood effect roll top work surface over, inset stainless steel sink and drainer with contemporary mixer tap, space and plumbing for a washing machine, four piece gas hob with electric oven under and extractor hood over, space for full height fridge freezer, central heating radiator, wood effect flooring and uPVC double glazed window to the front.





### **LARGE LOUNGE**

14'8 x 14'3 (4.47m x 4.34m)

A lovely light, bright and spacious reception room with uPVC double glazed window to the rear elevation, double glazed patio doors leading through to the conservatory, television point, wall light points, central heating radiator and door to under stairs storage cupboard.



### **CONSERVATORY**

10'6 x 9'9 (3.20m x 2.97m)

UPVC double glazed construction with sloping poly-carbonate roof, tiled flooring, light and power and double glazed double doors giving access to the rear garden.



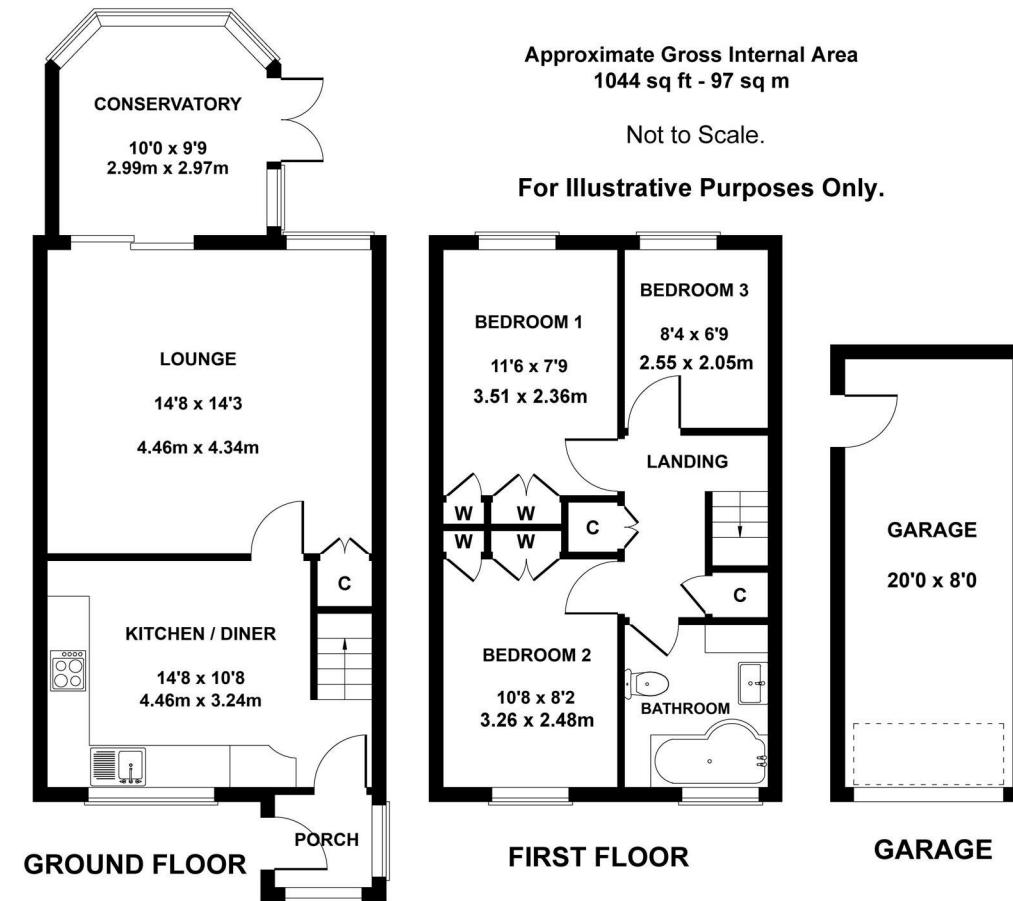


### LANDING

storage cupboard and further cupboard utilising the over stairs void housing the central heating combination boiler and there is loft access.

### BEDROOM 1

11'6 x 7'9 (3.51m x 2.36m)  
UPVC double glazed window to the rear elevation, built-in wardrobes to one wall, central heating radiator.



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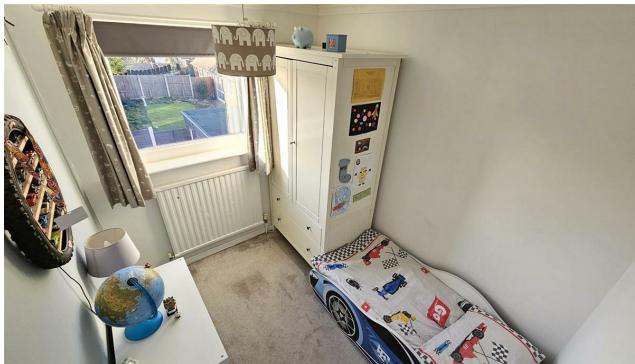
### **BEDROOM 2**

10'8 x 8'2 (3.25m x 2.49m)  
UPVC double glazed window to the front elevation, built-in wardrobes to one wall and central heating radiator.

### **BEAUTIFUL BATHROOM**

A three piece suite comprising a low level W.C., pedestal wash basin and curved bath with chrome shower over, stainless steel vertical heated towel rail, uPVC double glazed obscure glass window to the front elevation and being tiled to the walls and lino floor with a modern ceramic tile look.





### **BEDROOM 3**

8'4 x 6'9 (2.54m x 2.06m)  
UPVC double glazed window to the rear elevation and central heating radiator.

### **OUTSIDE - FRONT & GARAGING**

To the front is easy to maintain flagstones with low level box hedging. To the right hand side is a private driveway leading to the GARAGE to which there is a pedestrian timber door to access the rear garden, light and power.



#### **OUTSIDE - REAR**

Very sensibly, the very private and westerly facing rear garden has been hard landscaped for low maintenance, providing a patio area ideal for entertaining and alfresco dining, artificial grassed lawn, with shaped and raised flower beds and there is a timber gate giving access to the side, garage and front.



To arrange a viewing of this property, please contact our office on 01949 87 86 85 or email [bingham@hammondpropertyservices.com](mailto:bingham@hammondpropertyservices.com)

If you feel that your property deserves to be marketed and presented like this, then please contact our office to arrange a time for Jonathan Hammond to call out and to discuss what we do and how we do it!





AKERS PRITCHETT

Steve Pritchett

Please contact us for a FREE discussion on our services

01949 87 86 85



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A comprehensive colour brochure will be available for prospective tenants.

For more information, please call **Sharon** on **01949 87 86 90**



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**01949 87 86 85**

to arrange a suitable time for us to call out and to discuss what we do and how we do it!